

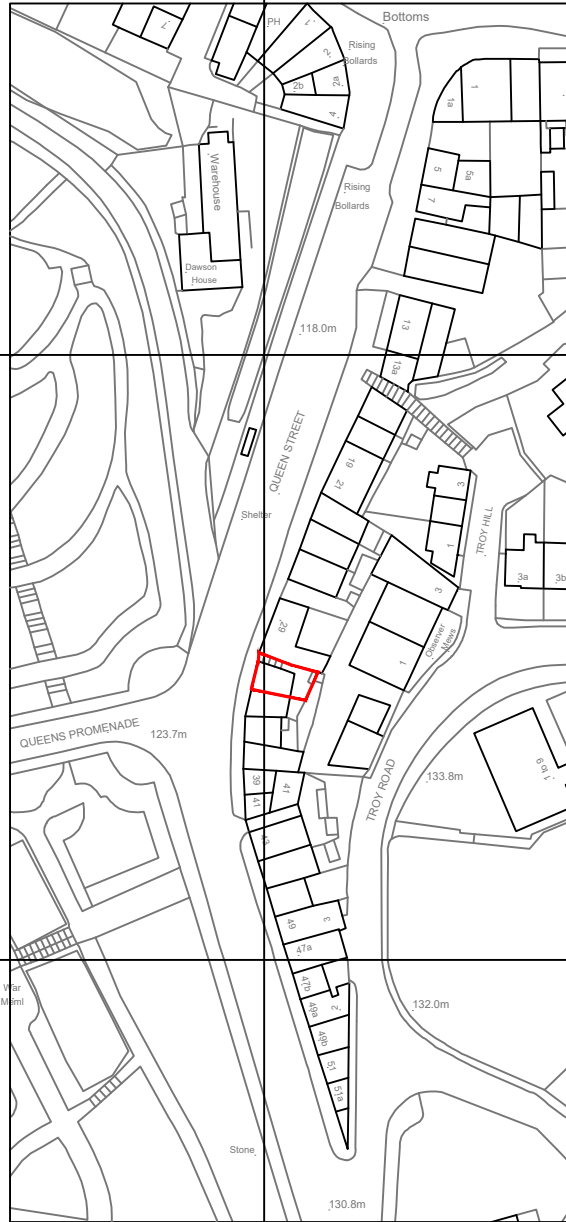
428100m

428000m

427900m

426200m

426300m



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Mr A Urbus & Ms Irina Raidoute

Job No. 4615

Location Plan

Scale 1:1250 @A4

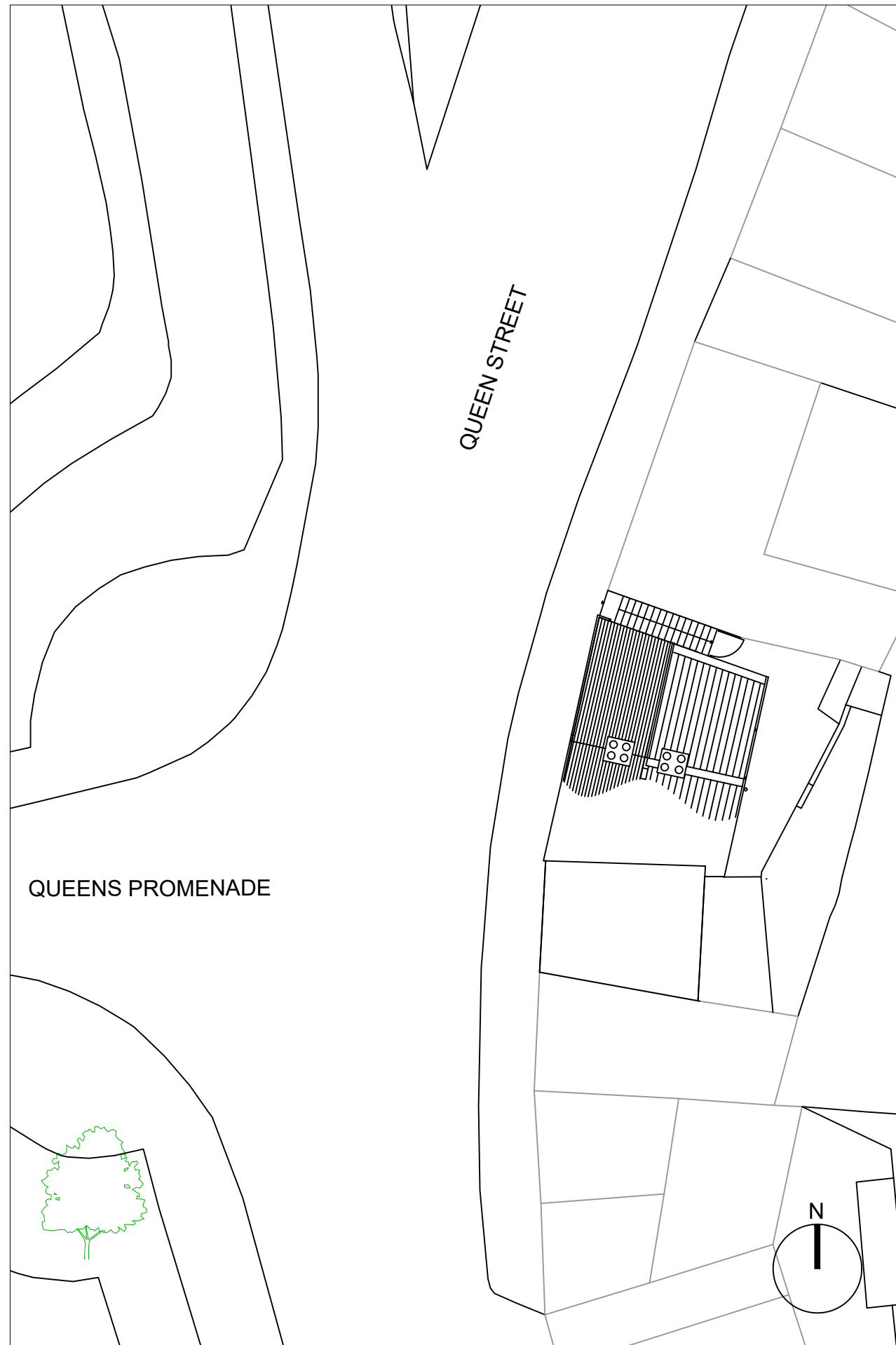
Drawing No. 4615_T_00

May 2024

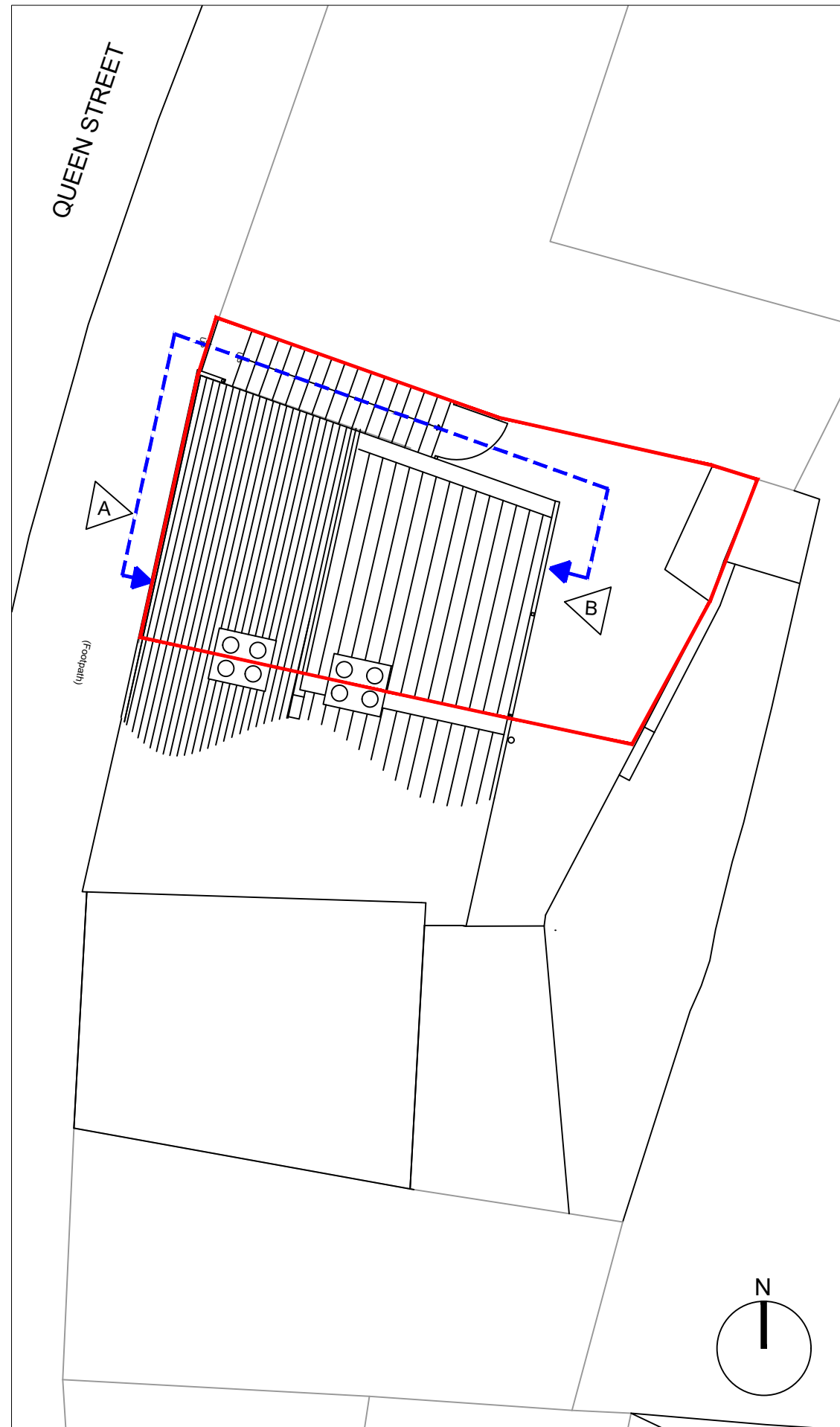


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Proposed Block Plan Scale 1:200



Site Access Plan Scale 1:100

Job		
31 Queen Street Morley		
Drawing Title		
Block and Access Plans		
Date	Scale@A3	Rev
May 2024	1:100 & 200	-
Drawing No.	Drawn by	Checked
4615-T-01	CWE/ DA	RCT



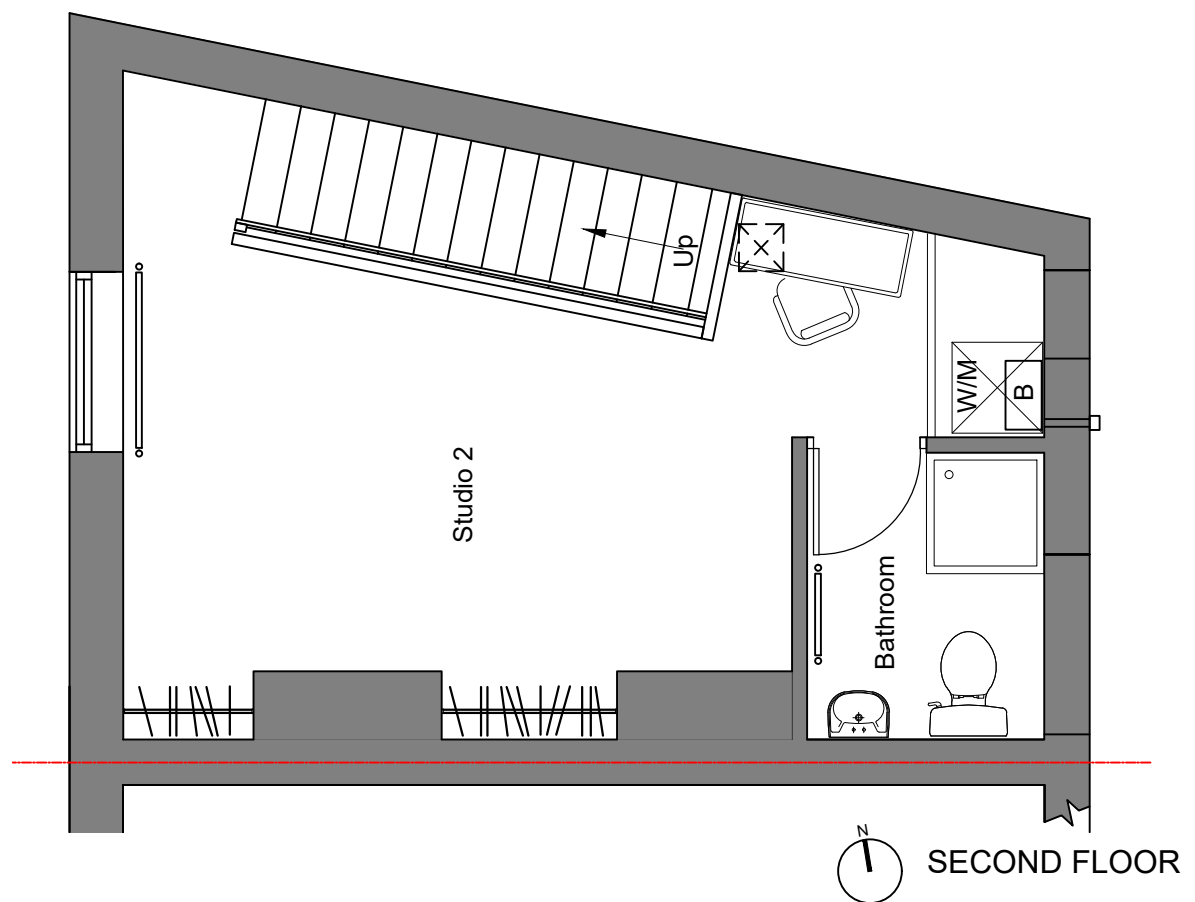
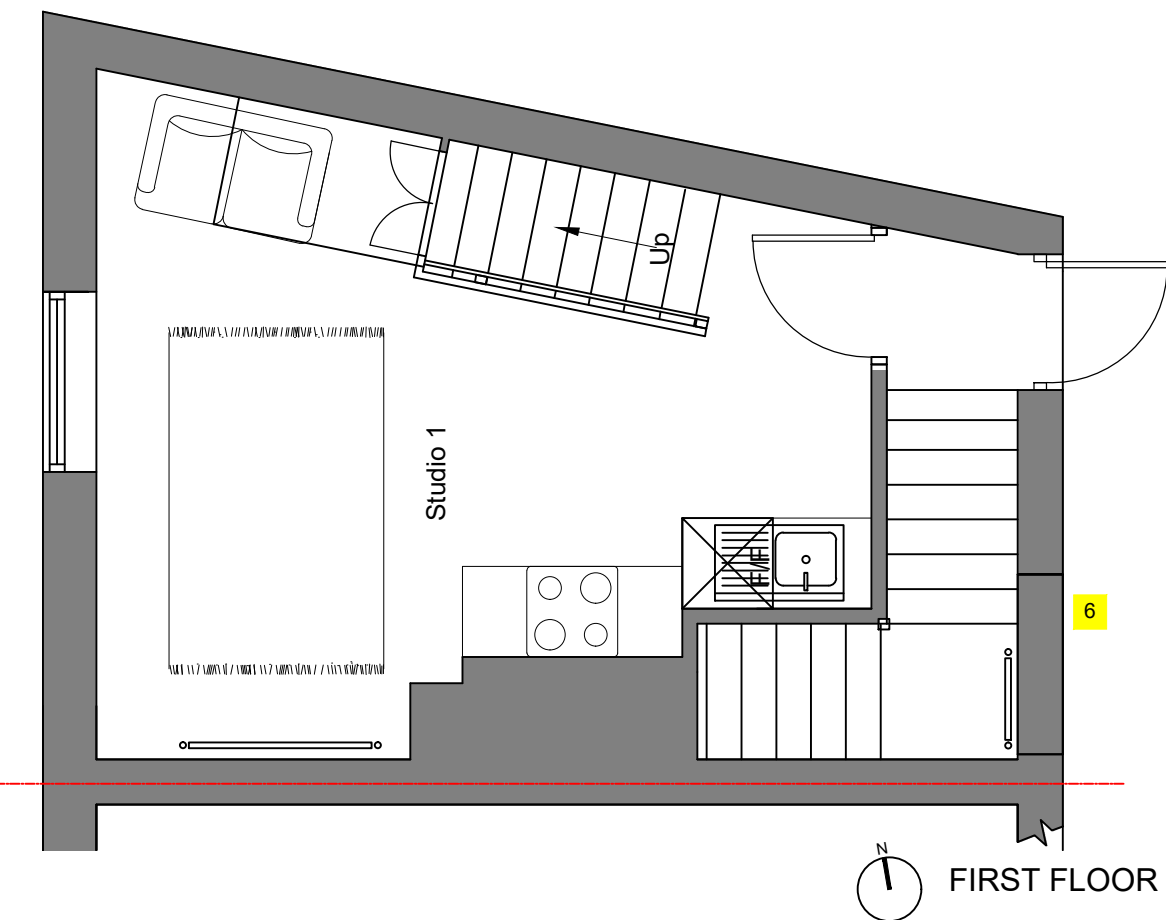
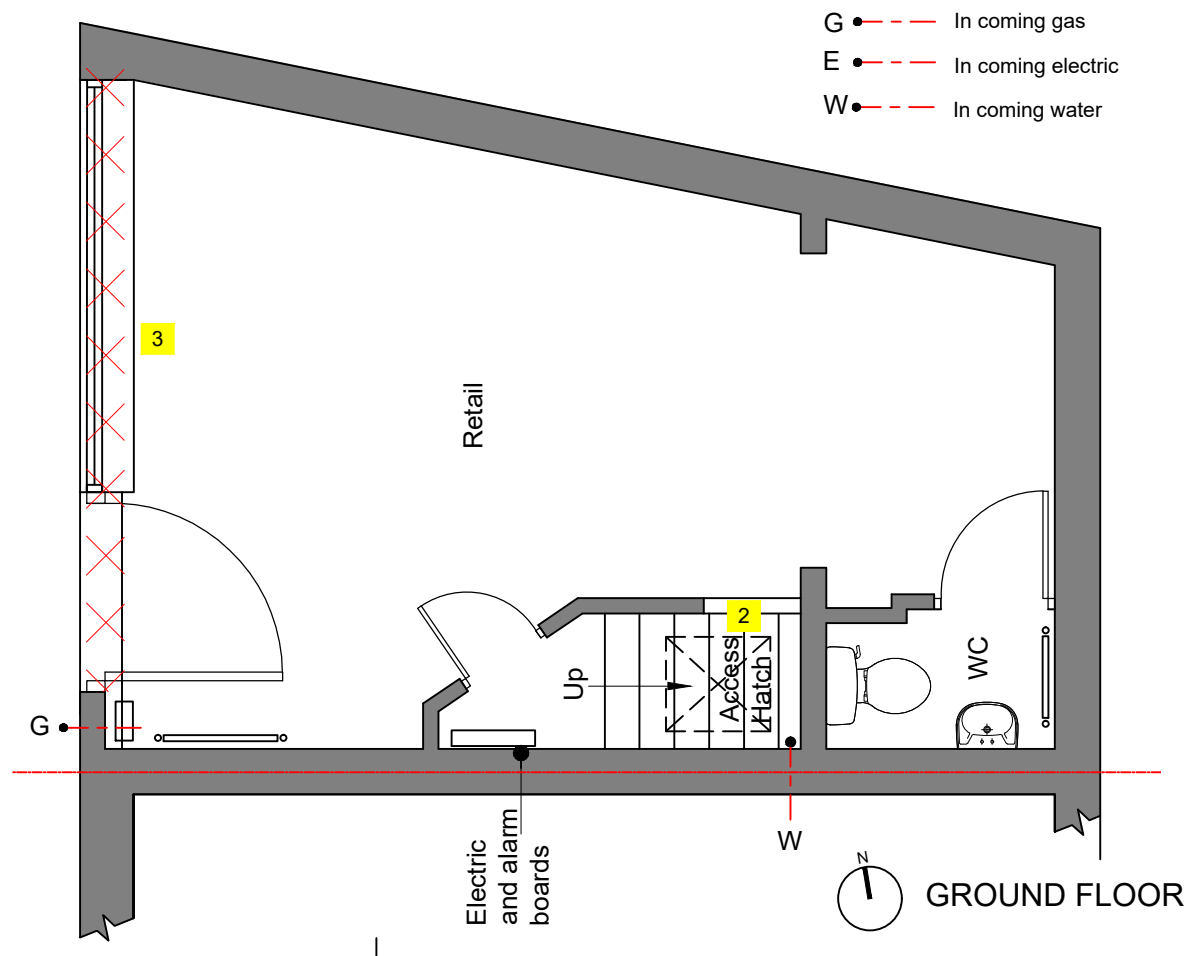
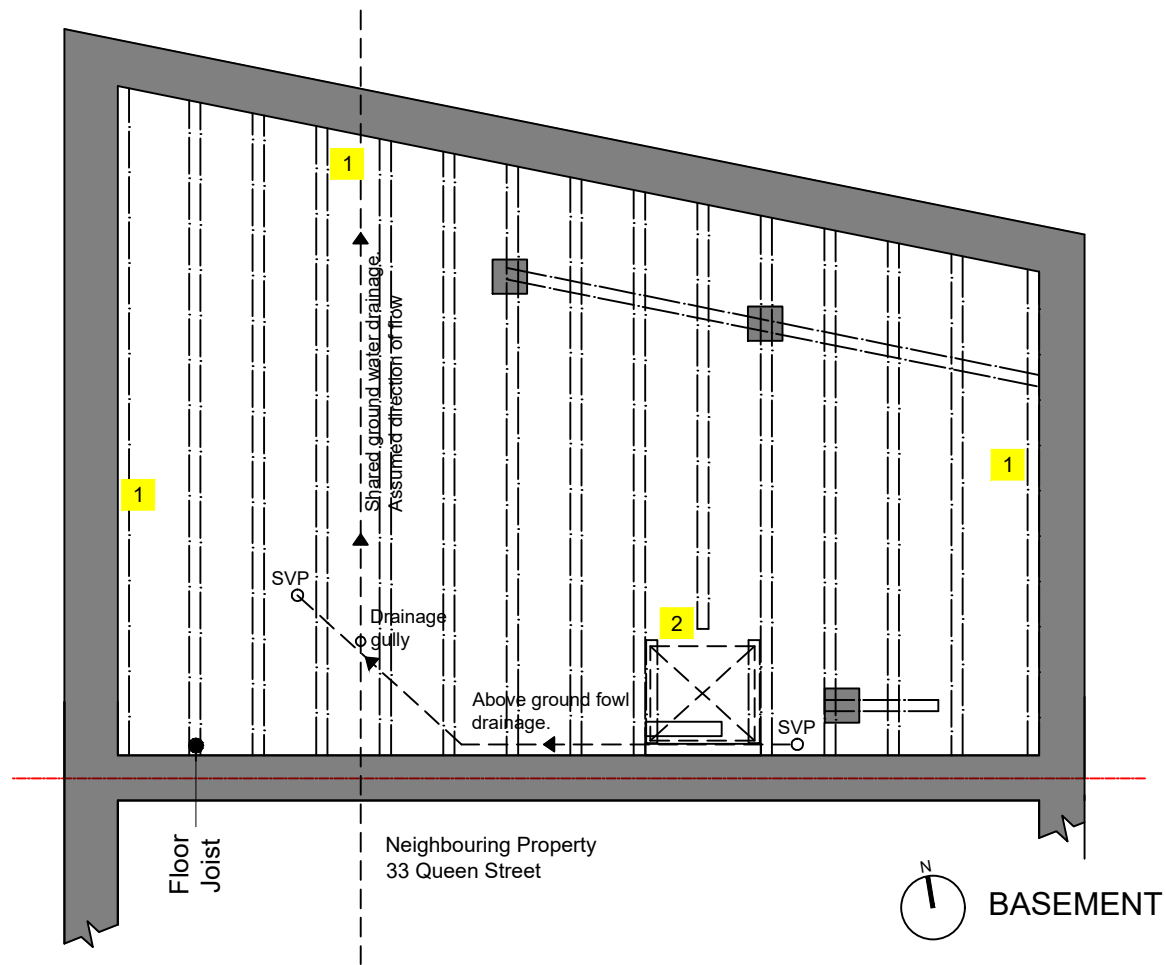
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DESIGN NOTES:

- 1 Existing load bearing masonry walls supporting timber floor joists. Walls in direct contact with ground with evidence of moisture increase. Wall to be prepared in preparation for new tanking system.
- 2 Access hatch and ladder to be removed. Defective and cut floor joist to be replaced in preparation for new floor board.
- 3 Existing shop front window frame and door to be carefully removed and carted away. Existing mortice lock to be retained for reuse.

✕ Areas of demolition and cart away



24.07.24 Rev A
Agreed extent of work following tender and grant review CWE

Job
31 Queen Street
Morley




Drawing Title
Existing Plans
and Demolition

Date	Scale@A3	Rev
May 2024	1: 100	A
Drawing No.	Drawn by	Checked
4615-T-02	DA	RCT

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DESIGN NOTES:

- 1 Remove existing shopfront and support in preparation to the install new timber framed shopfrontage with window display.
 - 2 Remove existing modern uPVC casement windows.
 - 3 Modern Blockwork to be removed.
 - 4 Existing modern rear timber door to be removed.
 - 5 uPVC rain water good to be removed.
 - 6 Existing roof tiles to be removed and roof to be prepared for re-roofing.
 - 7 Area of stone plinth wall to be replaced.
-  Area of stone to be investigated and made good prior to new shopfront installation.
 -  Plinth wall and step to be removed and carted away.
 -  Areas of demolition and cart away.

24.07.24 Rev A
Agreed extent of work following tender and grant review CWE

Job
31 Queen Street
Morley

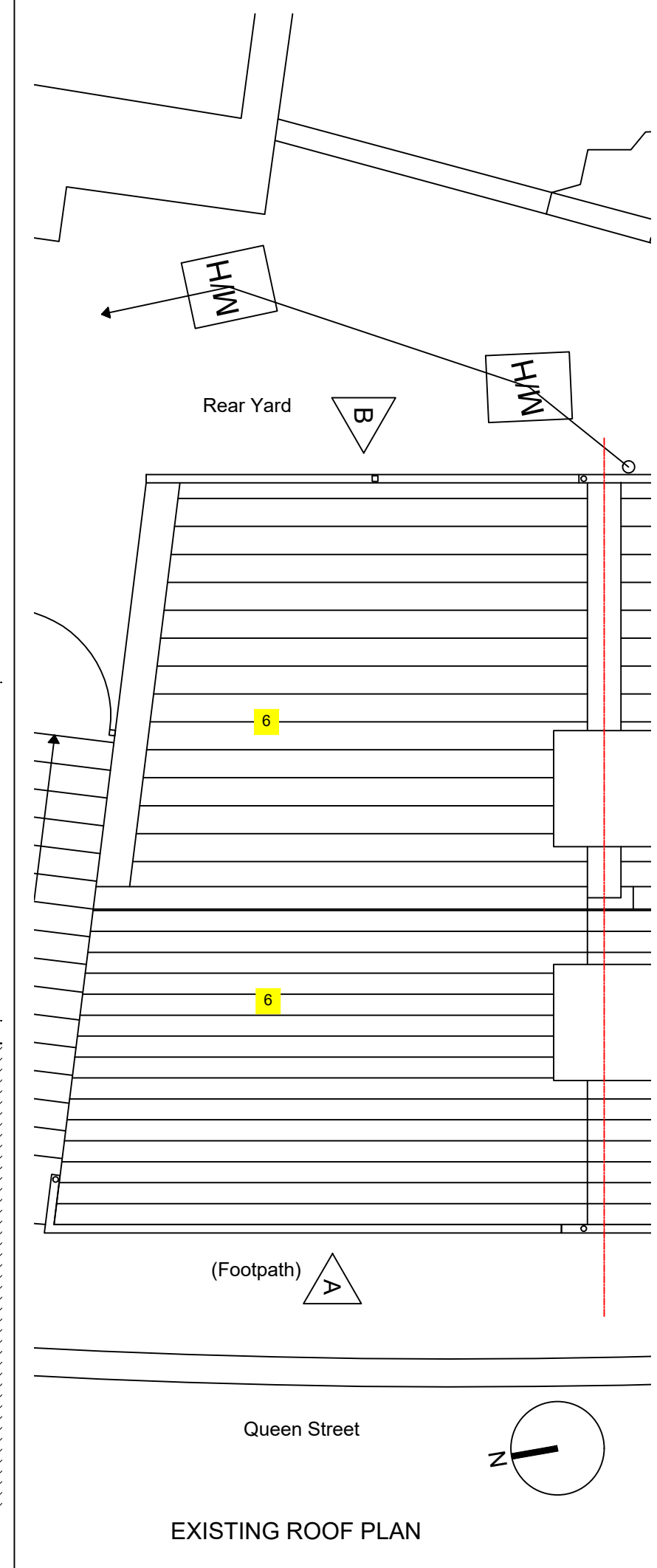
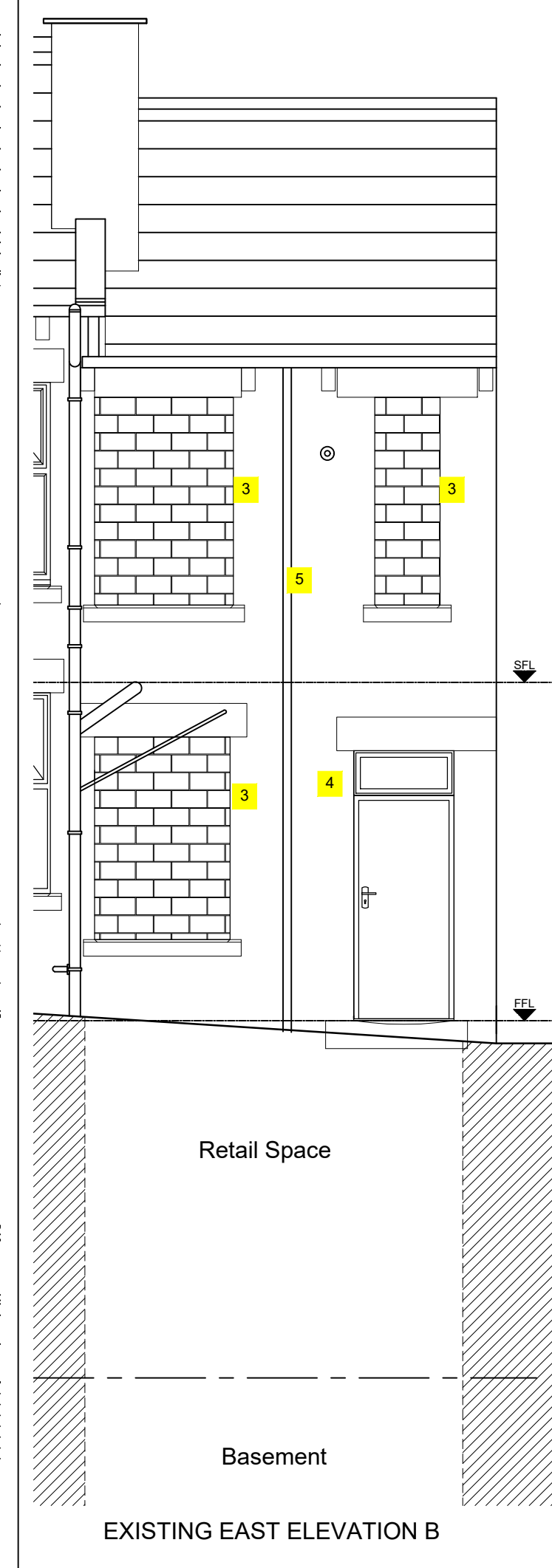
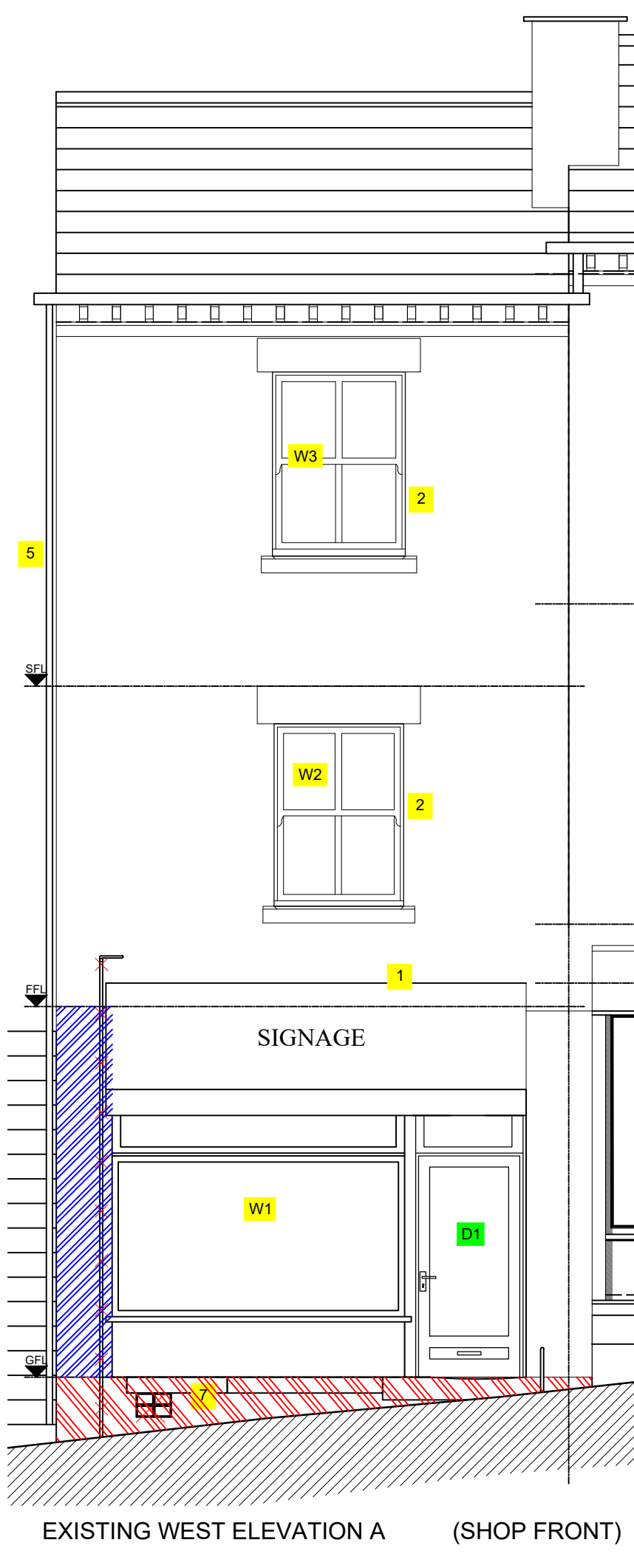
Drawing Title
Existing Elevations
& Roof Plan

Date Scale@A3
May 2024 1: 50

Drawing No. Drawn by Rev
4516-T-03 CWE/DDA A



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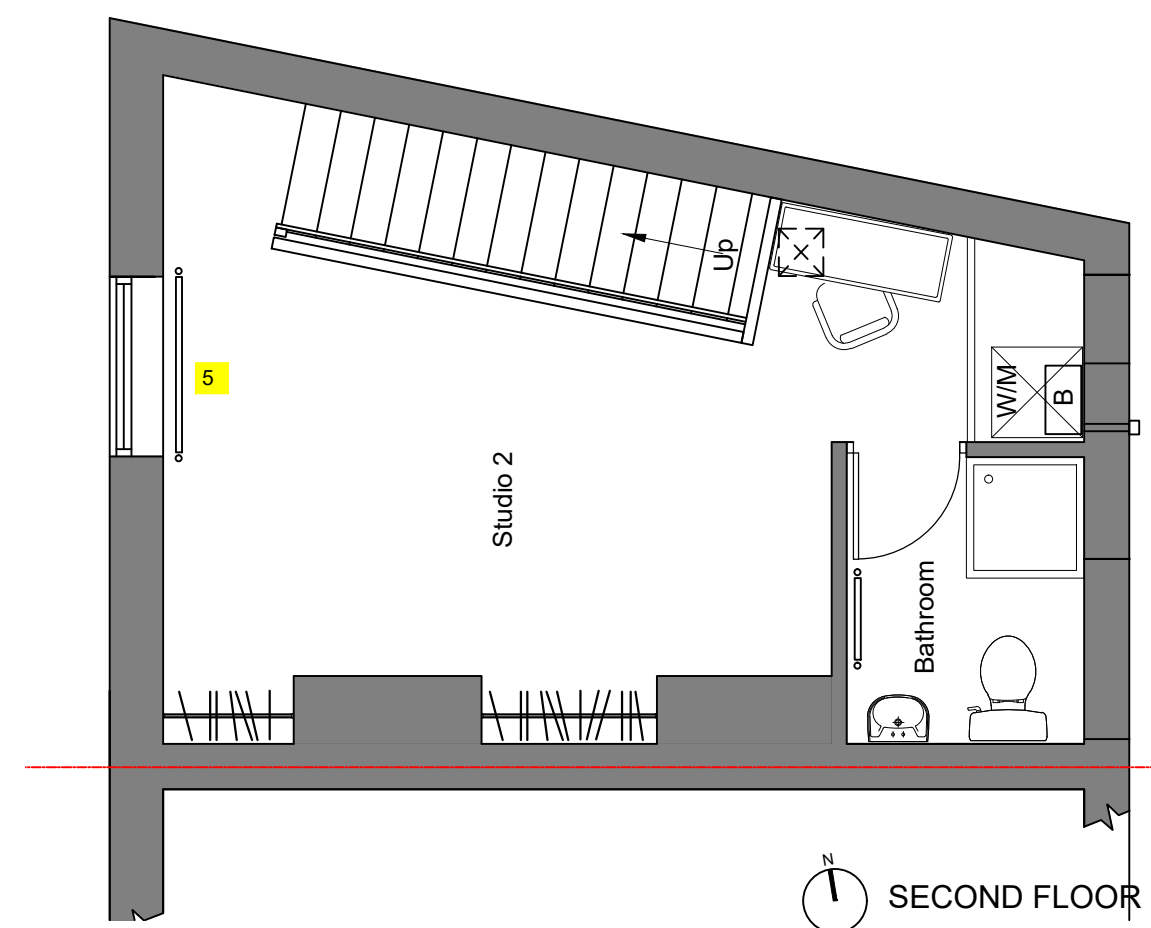
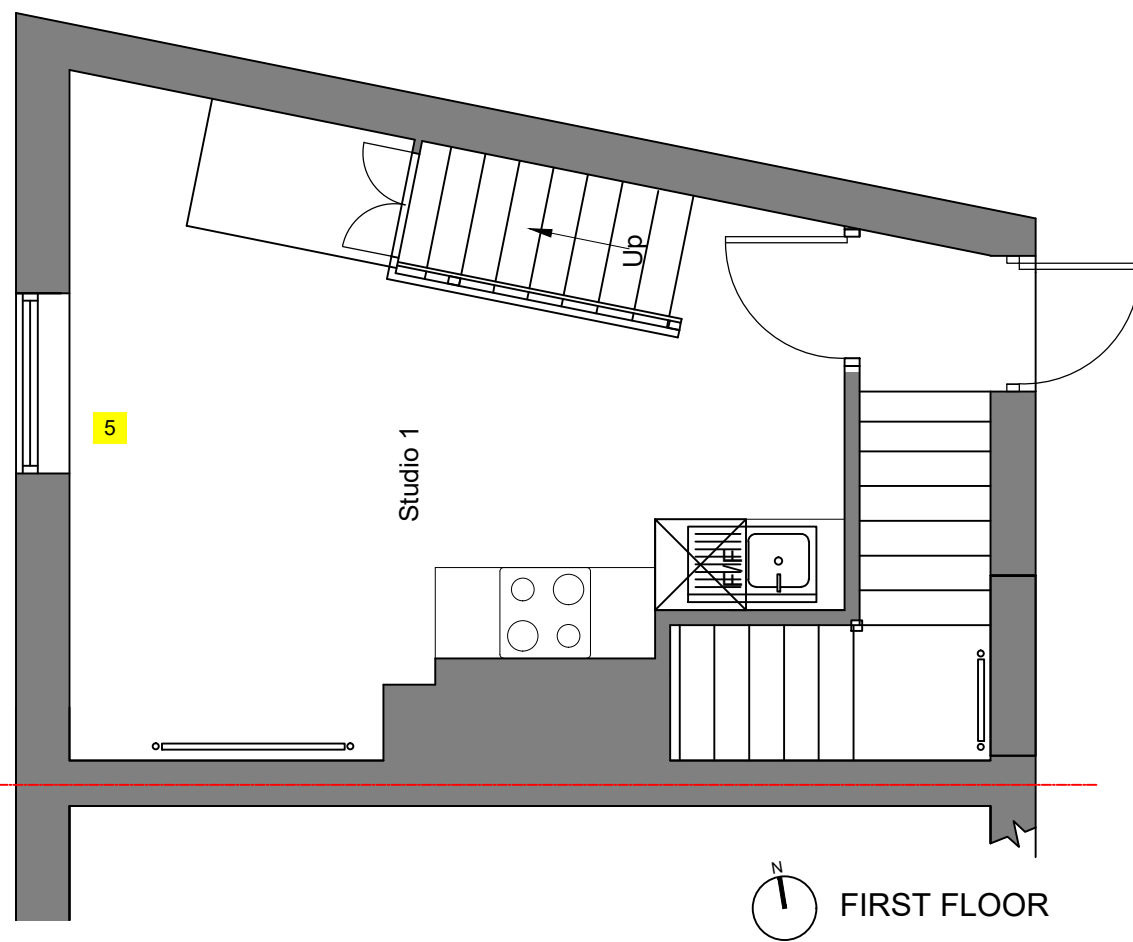
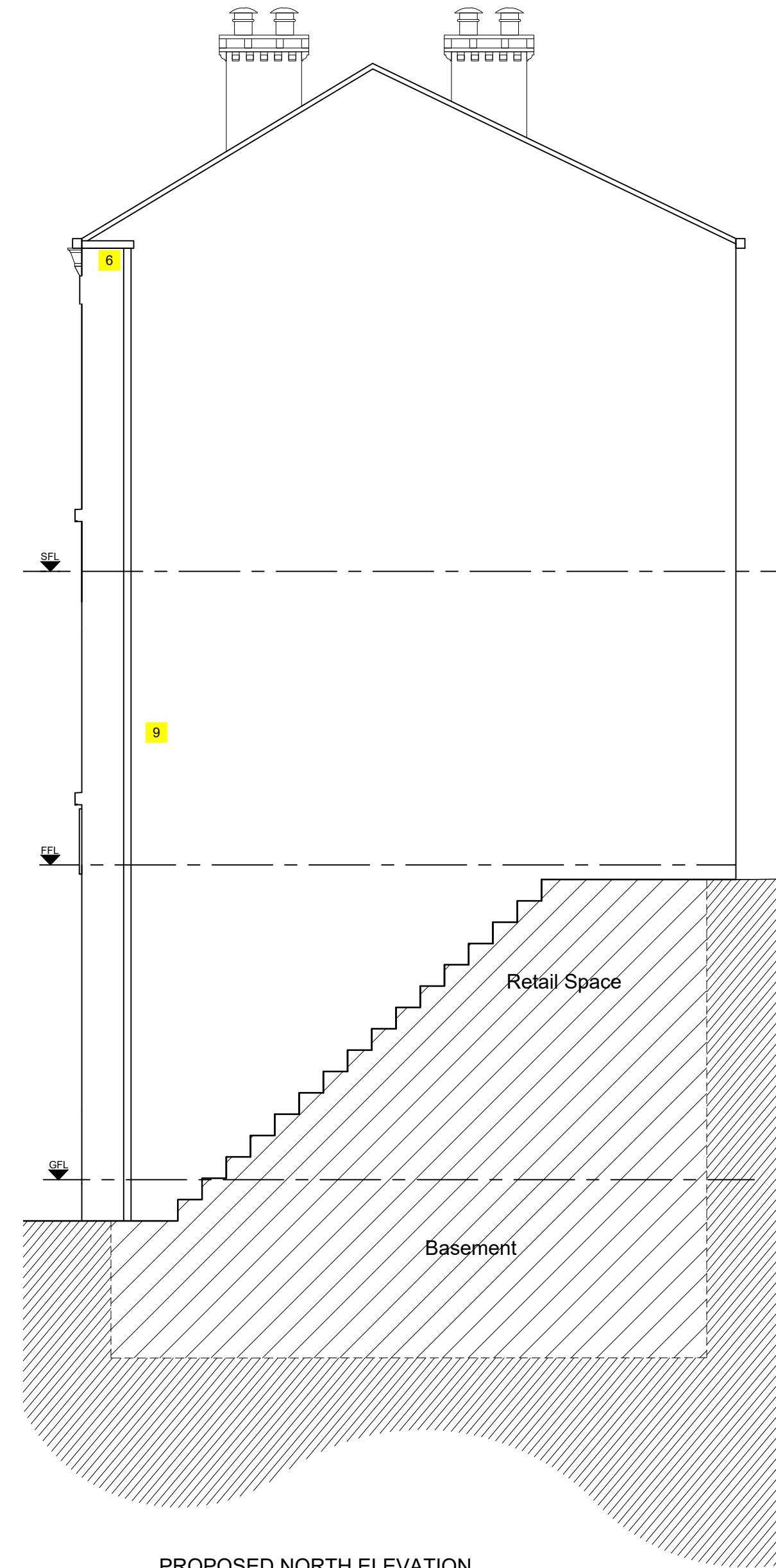
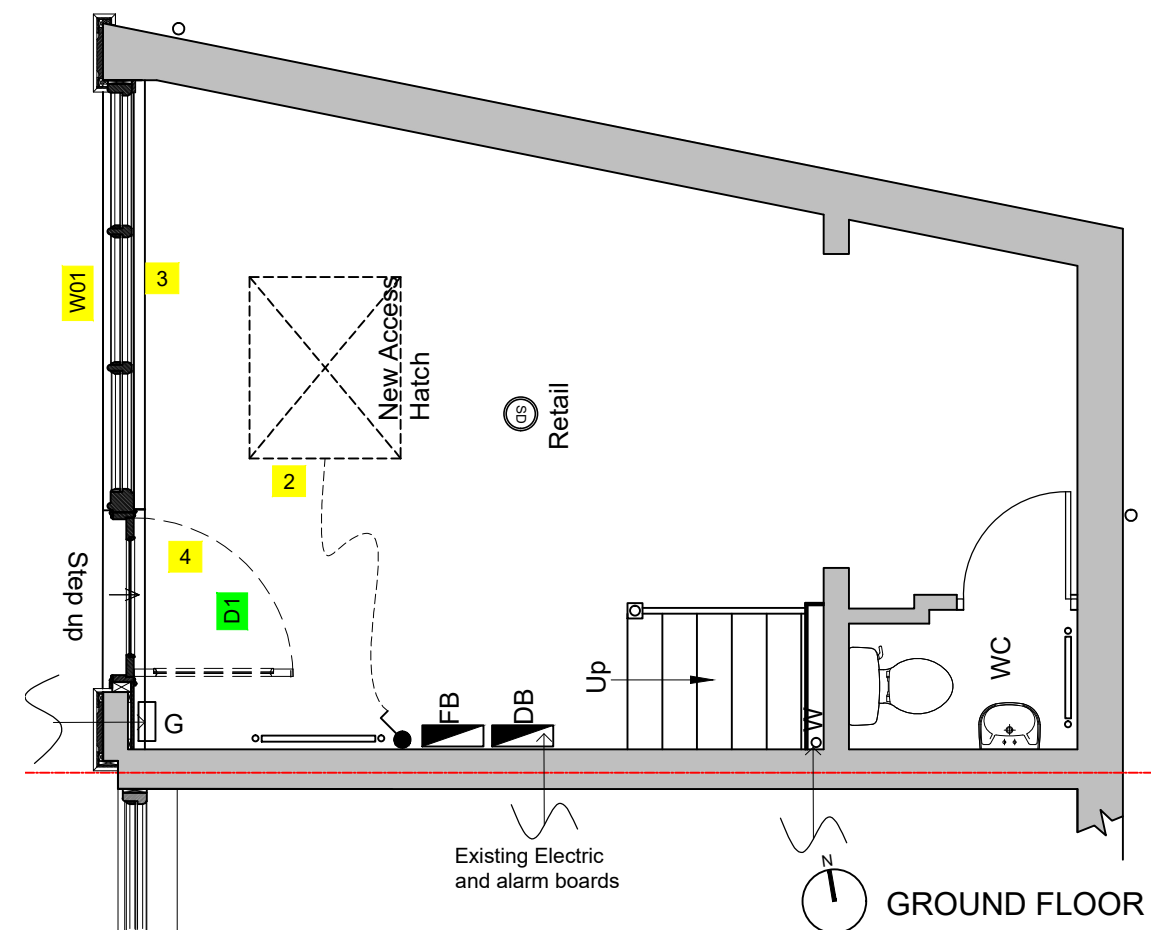
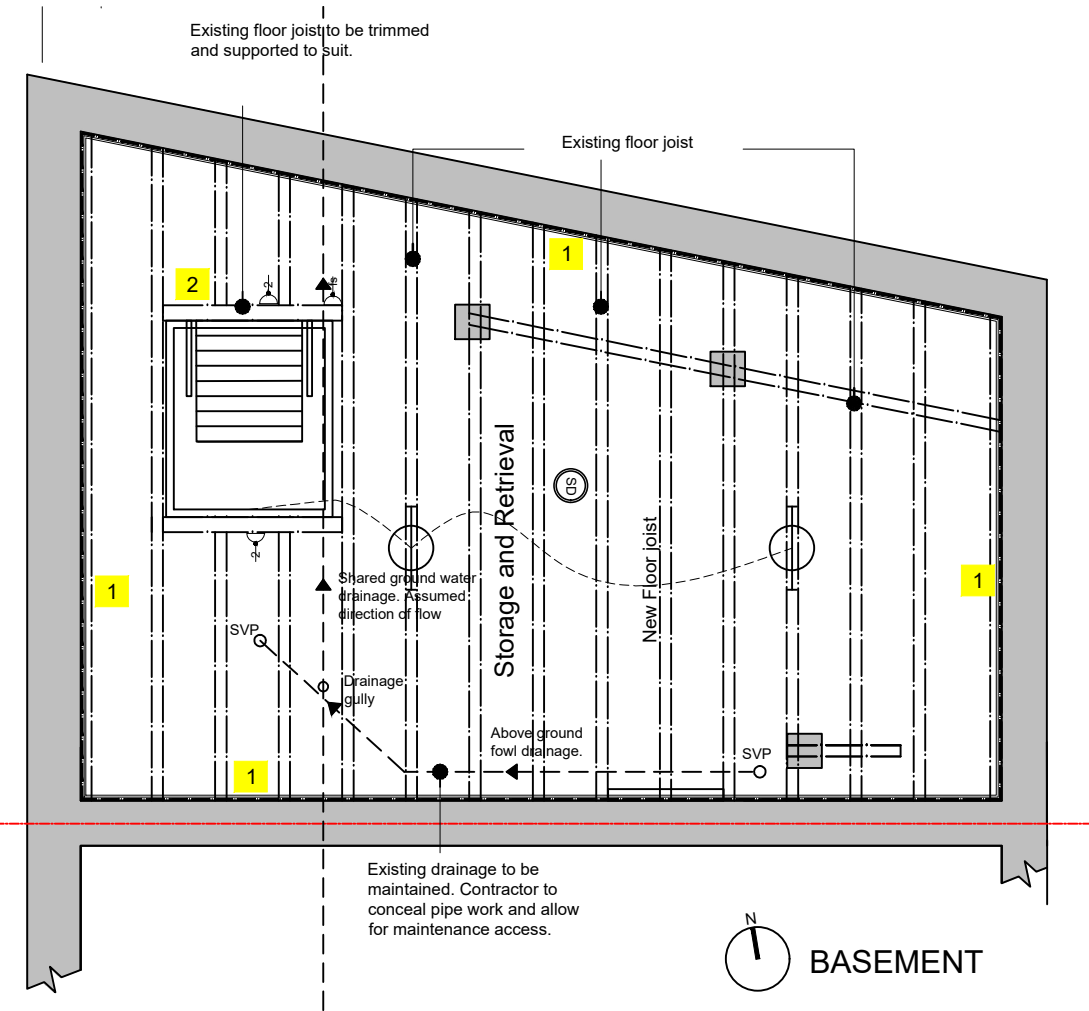
EXISTING WEST ELEVATION A (SHOP FRONT)

EXISTING EAST ELEVATION B

EXISTING ROOF PLAN

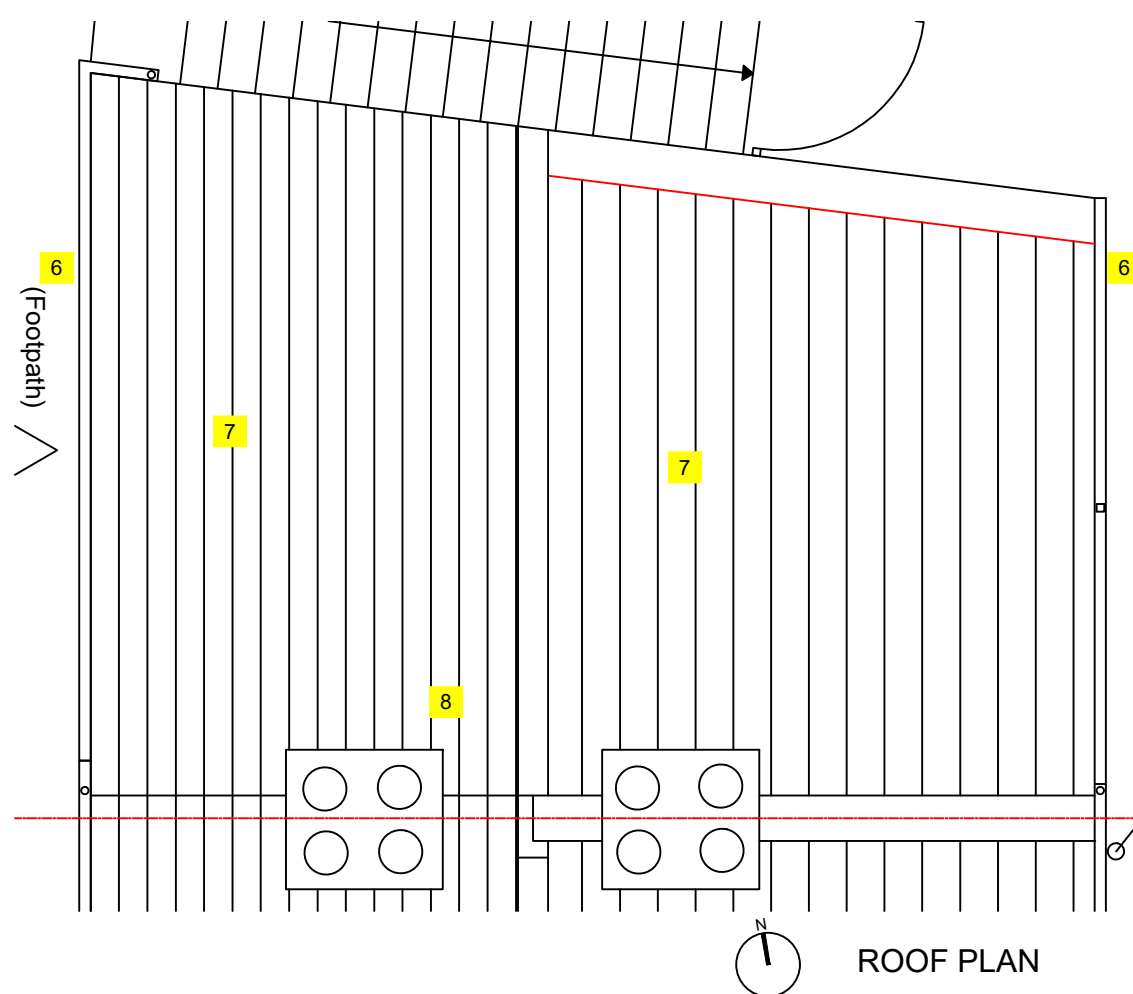
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- KEY:-
- Emergency bulkhead lighting
 - Distribution Board (location TBC on site).
 - Fire Panel (location TBC on site).
 - Vent Axia Quadra TP Extract Fan or similar.
 - LED Batten Waterproof fitting
 - One way switch
 - Fused spur
 - Double power socket



DESIGN NOTES:

- 1 Basement tanking system to be of Type C; grade 3 standard in accordance with BS8102:2022. Perimeter walls tanked with Platon P8 membrane, covered with PB2 mesh and finished with dot and dabbed 12.5mm plasterboard. All joint to be taped with Triton Platon sealing rope (or similar approved) prior to skim coat plastering.
- 2 New hatch and ladder to be formed in existing floor for easy access to basement storage and retrieval areas by Hidex Hidden Access Panel. Floor joist to be cut and trimmed to suit. Allow for Structural engineer's designs and calculations..
- 3 New European Hardwood timber framed shopfront with LandVac Heritage glazing 8.3mm.
- 4 New Timber entrance door with openable vent top light using LandVac Heritage glazing 8.3mm
- 5 Existing modern uPVC casement windows to be replaced with new timber Victorian style double glazed sash window.
- 6 Modern uPVC gutters to be replace with lead lined timber gutters.
- 7 Existing roof covering to be removed and replaced with new welsh slate on new 25 x38mm sw battens on new breathable membrane over existing rafters..
- 8 Chimney stacks to receive tradition Victorian period crown with mushroom flute hoods.
- 9 Modern uPVC rainwater pipes to be replace with new cast iron rain water pipes.



24.07.24 Rev A
Agreed extent of work following tender and grant review
CWE

Job

31 Queen Street
Morley

Drawing title
Proposed plans and
North Elevation

Date	Scale@A2	Rev
May 2024	1: 50	A
Drawing No.	Drawn by	Checked
4615-T-04	DDA	RCT

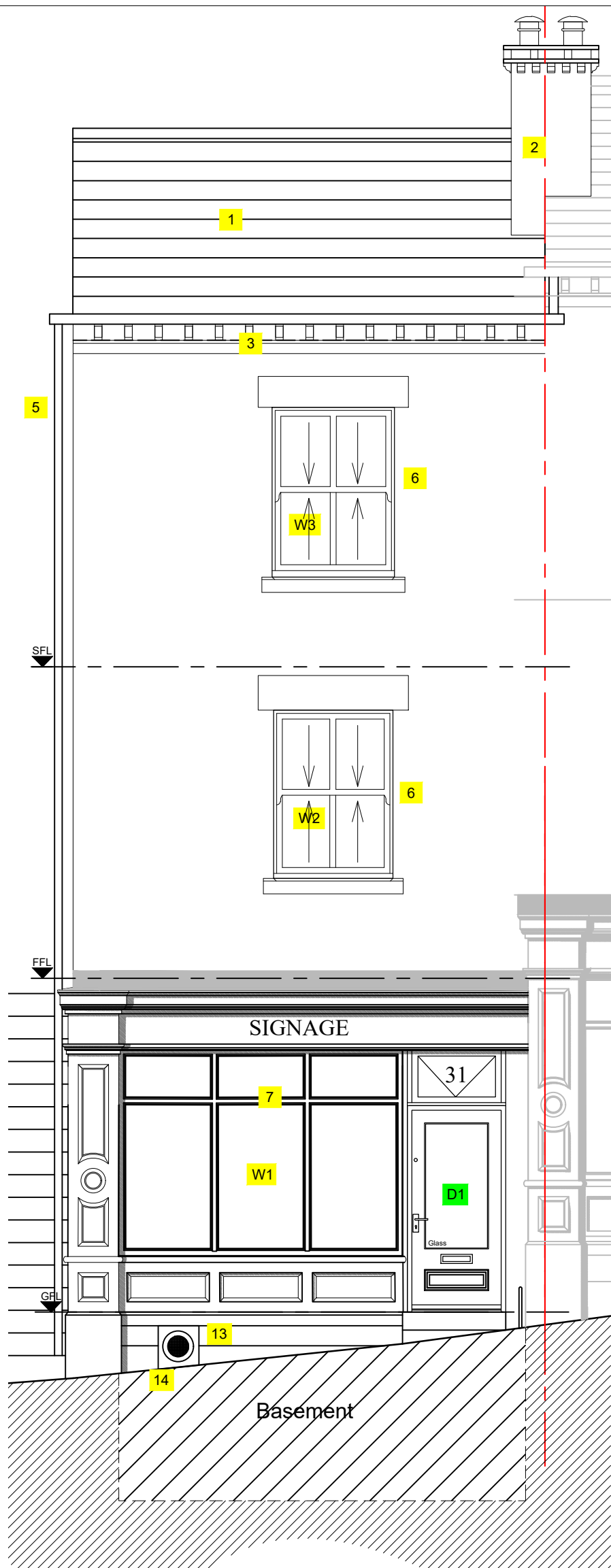
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GENERAL NOTES:-

- A. All work to be carried out to current Building Regulations Standards and to approval of the Local Building Inspector.
- B. Builder to ensure that completed work is watertight.
- C. **Tanking Details Requirement:** Full details of tanking to existing wall to be provided by specialist sub-contractors and to be submitted to, and approved by, the City Council prior to work commencing on site.
- D. All external timber to be treated against fungal attack.
- E. All structural calculations to Structural Engineer's designs
- F. Safety glass to BS 6206 class C - to all glazed doors and all windows below 1500 high and within 300mm of doors; other windows within 800mm of the floor level
- G. Fire alarm and Emergency lighting: Contractor to provide Commissioning Certificates for altered fire alarm and emergency lighting. Existing hard wired fire alarm system to be modified to include any new additions and must demonstrate compliance to BS5839. Part 1. Emergency lighting to be designed in accordance with BS 5266 Part1 and provided to any new windowless accommodation, escape routes and toilets.
- H. Heating: Existing "A" rated energy efficient gas Combi-boiler with flue terminating on the rear elevation to be retained.
- I. **Heat Producing Appliances Requirement:** Heat producing appliances to comply fully with Approved Document Part J1/2/3 or installed and commissioned by an approved installer and approved by, the City Council prior to be provided on completion.
- J. Windows: New double-glazing with a U-value of 1.4 W/m²K or minimum WER Band B.
- K. Doors: New timber doors with a U-Value of 1.8 W/m²K.
- L. Any new electrical work to meet the requirements of part P (Electrical Safety) and must be designed, installed, inspected and tested by a person competent to do so.
- M. **Commissioning Certificates Requirement:** Commissioning certificates are to be submitted to, and approved by, the City Council prior to occupation of the building.

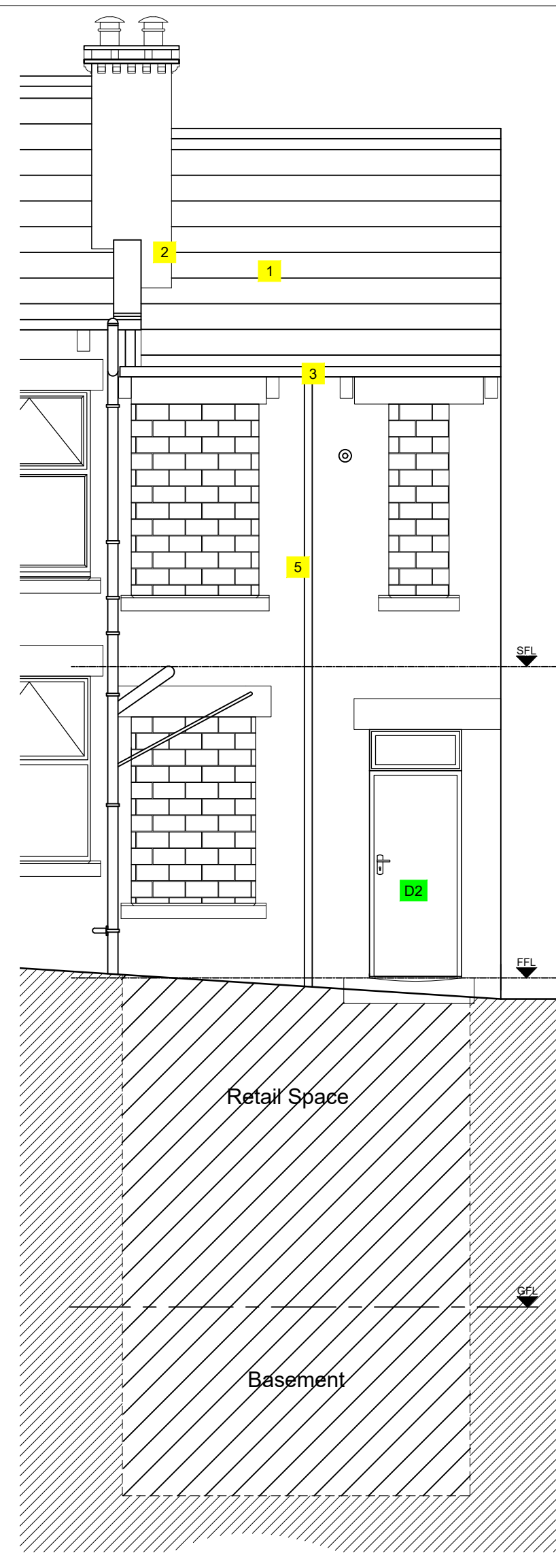
Refer to the Specification of Works document for the description of re-pointing works to all elevations.



PROPOSED WEST ELEVATION (SHOP FRONT)

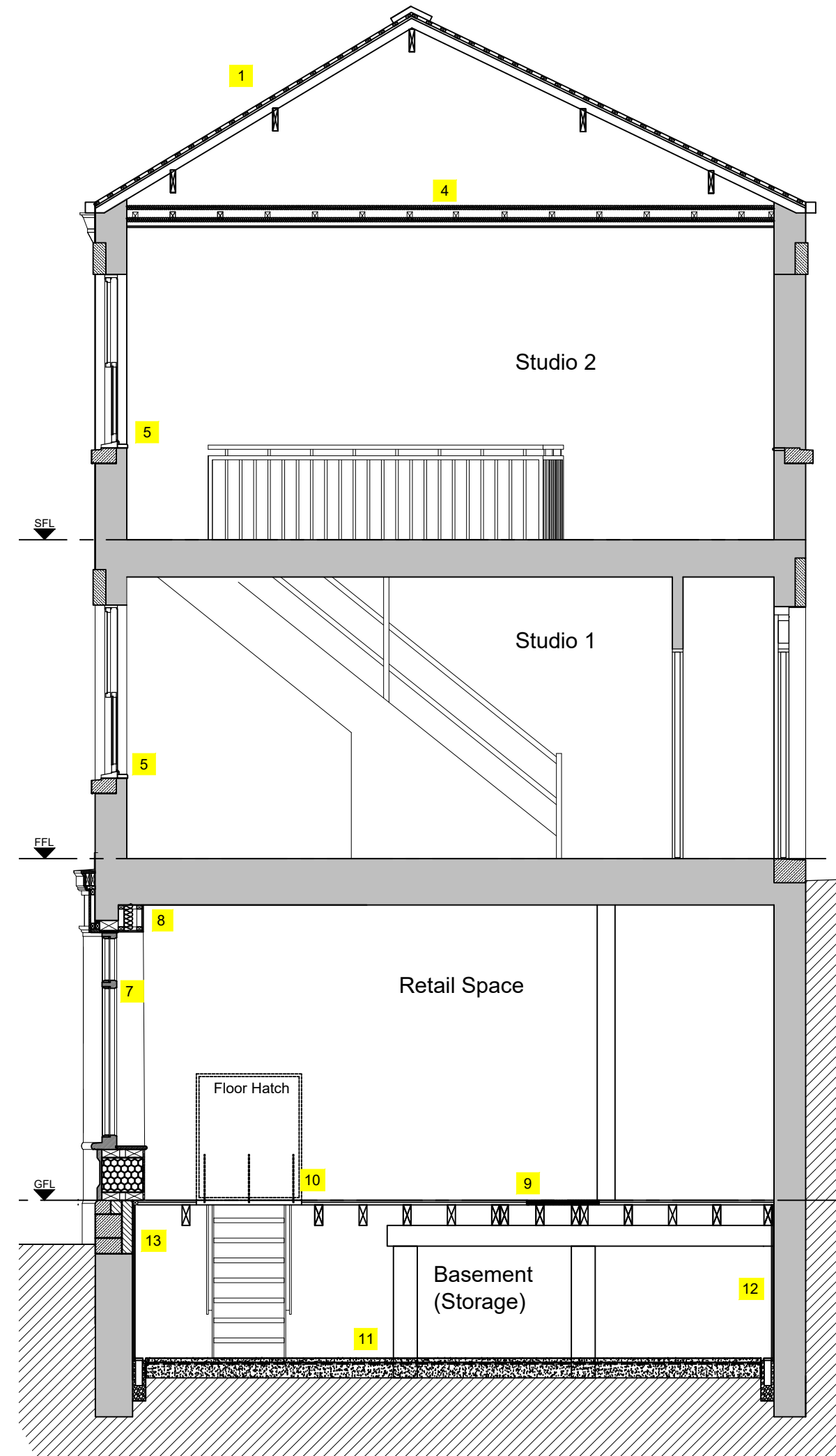
DESIGN NOTES:

- 1 Existing roof covering to be removed and replaced with new welsh slate on new 25 x38mm sw battens on new breathable membrane over existing rafters.
- 2 Chimney stacks to receive tradition Victorian period crown with mushroom flute hoods.
- 3 Modern uPVC gutters to be replace with lead lined timber gutters.
- 4 Existing ceiling to be retained with the addition of a minimum of 150mm fibreglass between joists and a further 150mm fibreglass laid across to give 300mm total thickness to achieve a maximum U-Value of 0.16W/m.sq.K.
- 5 Modern uPVC rainwater pipes to be replace with new cast iron rain water pipes.
- 6 Existing modern uPVC casement windows to be replaced with new timber framed Victorian style double glazed vertical sash window.
- 7 New European Hardwood timber framed shopfrontage window display and door with top light vent above. Glazing to be LandVac Heritage glazing 8.3mm.



PROPOSED EAST ELEVATION (REAR ELEVATION)

- 8 Existing supporting structure to be examined with Structural Engineer's designs and calculations to be provided prior to installation of new shopfront.
- 9 Existing access hatch to be sealed with 2n. 22 MDF floor boards to match existing. Replace floor joist with new 75 x 195 sw joist to match existing hung on party wall and gable wall with new wall hangers.
- 10 New hatch and ladder to be formed in existing floor for easy access to basement storage and retrieval areas by Hidex Hidden Access Panel. Floor joist to be cut and trimmed to suit. Allow for Structural engineer's designs and calculations.
- 11 Basement tanking system to be of Type C; grade 3 standard in accordance with BS8102:2022.
- 12 Perimeter walls tanked with Platon P8 membrane, covered with PB2 mesh and finished with dot and dabbed 12.5mm plasterboard. All joint to be taped with Triton Platon sealing rope (or similar approved) prior to skim coat plastering.



PROPOSED SECTION A-A

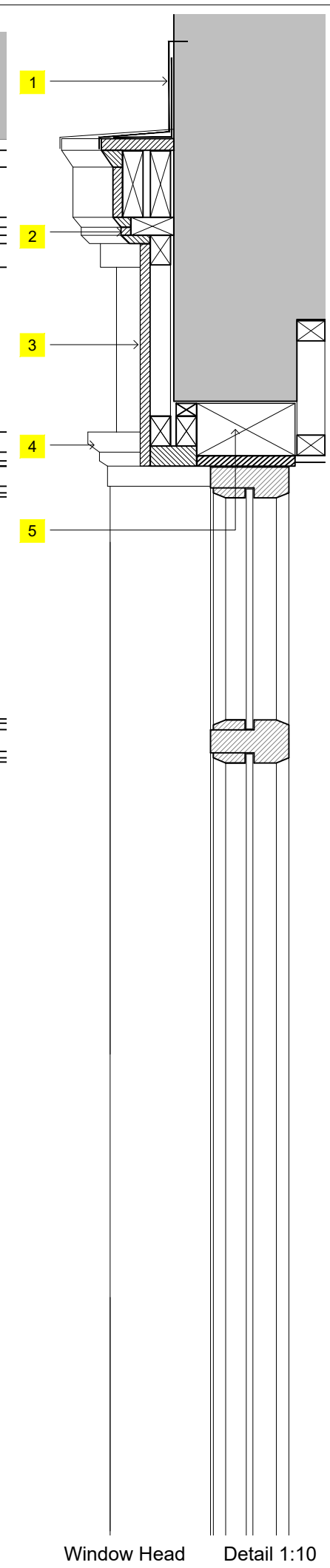
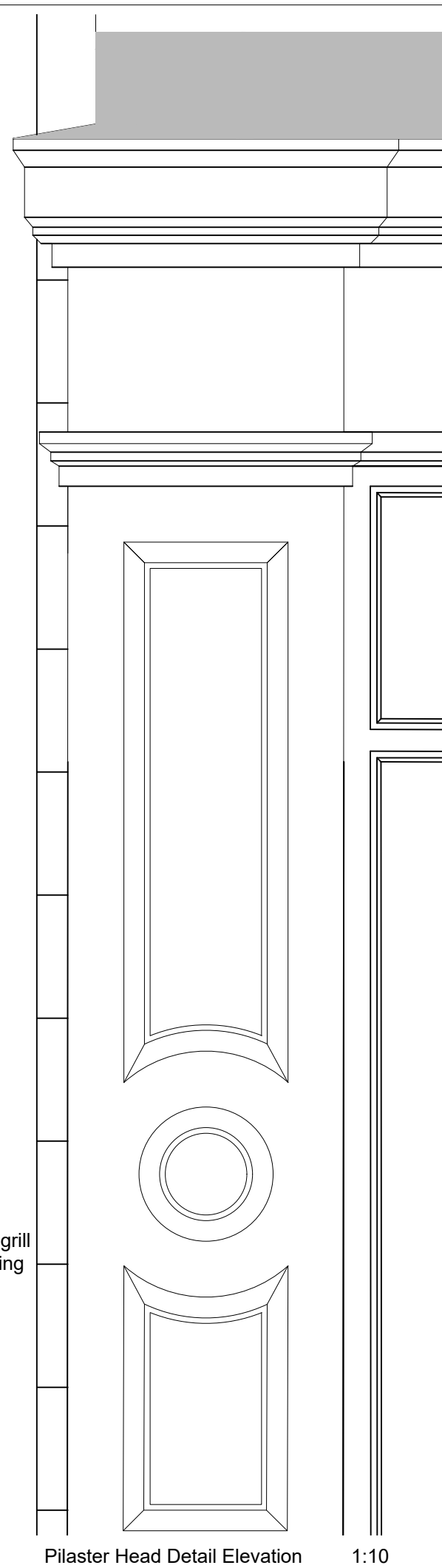
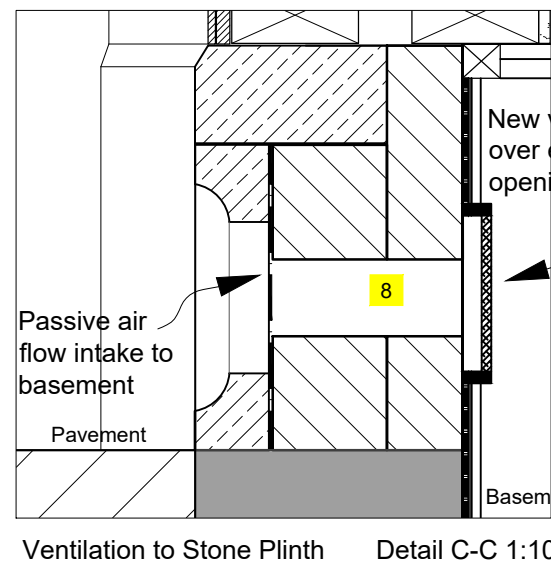
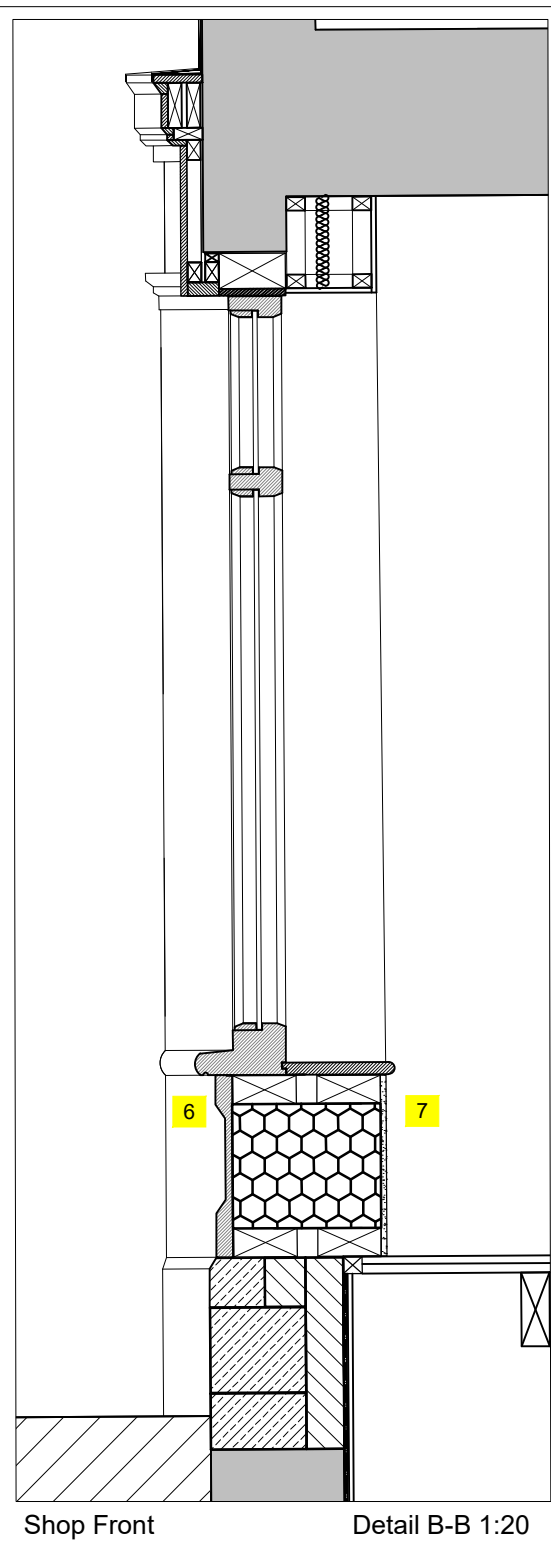
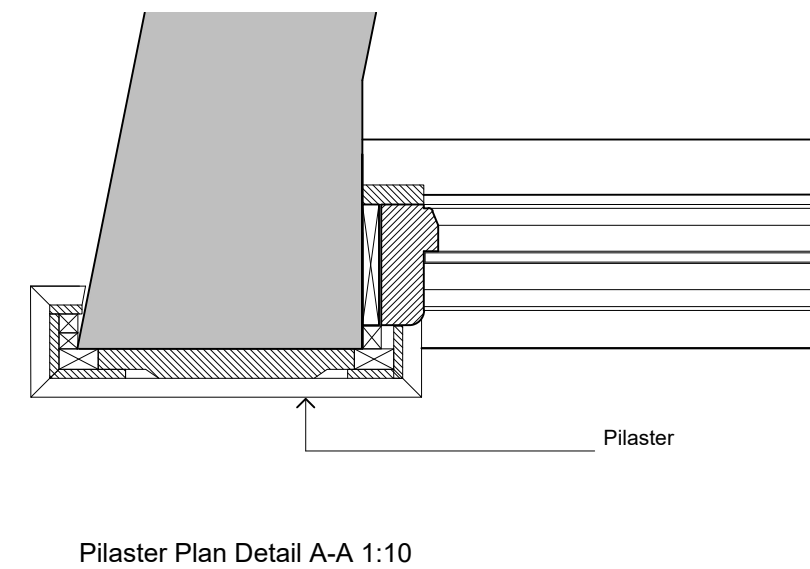
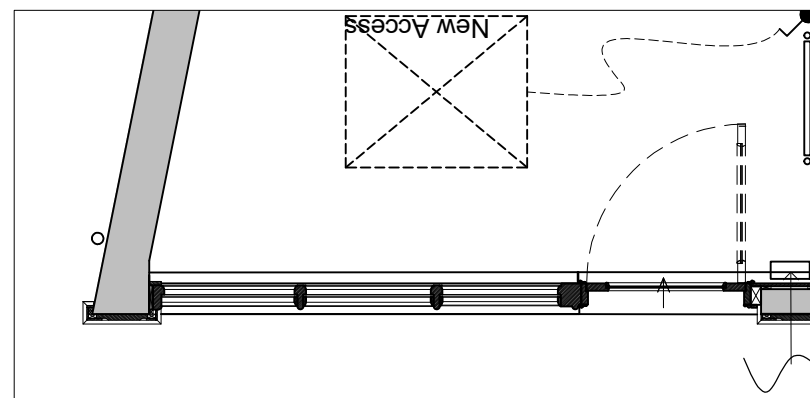
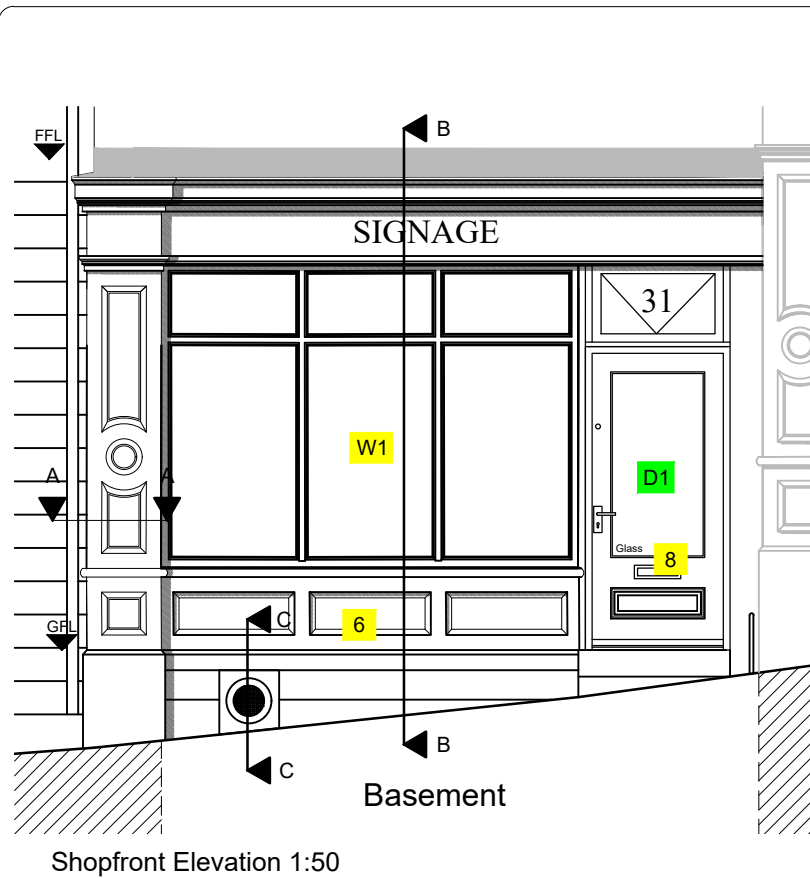
- 13 Stone plinth and wall below to be re-instated. Contractor to measure area of stone to be replaced prior to ordering new stone pieces. Refer to drawing 4616-T-04.
- 14 Decorative stone ventilation grill to basement through stone plinth wall.

24.07.24 Rev A
Agreed extent of work following tender and grant review
CWE

Job
31 Queen Street
Morley

Drawing title
Proposed East & West
Elevations and Section A-A

Date	Scale@A2	Rev
May 2024	1: 50	A
Drawing No.	Drawn by	Checked
4615-T-05	DDA	RCT



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- DESIGN NOTES:
- 1 Lead flashing (Minimum code 4) dressed over cornice & capital detail of pilaster.
 - 2 Cornice profile formed in timber and painted. Colour to be agreed.
 - 3 Signage fascia formed in 18mm wbp ply painted. Colour to be agreed.
 - 4 Profile of pilaster projects in front of signage fascia.
 - 5 Detail of existing structural opening is indicative. Further investigation prior to commencement of work.
 - 6 Shop frontage and stall risers formed in solid timber and wbp ply painted. Colour to be agreed.
 - 7 Internal finishes/ shop fitout TBC.
 - 8 Zone behind decorative stone piece to be left clear in preparation for future mechanical extract installation.

24.07.24 Rev A
 Agreed extent of work following tender and grant review
 and grant review CWE

Job
 31 Queen Street
 Morley

Drawing Title
 Proposed Shopfront Details

Date Scale@A3
 May 2024 Various

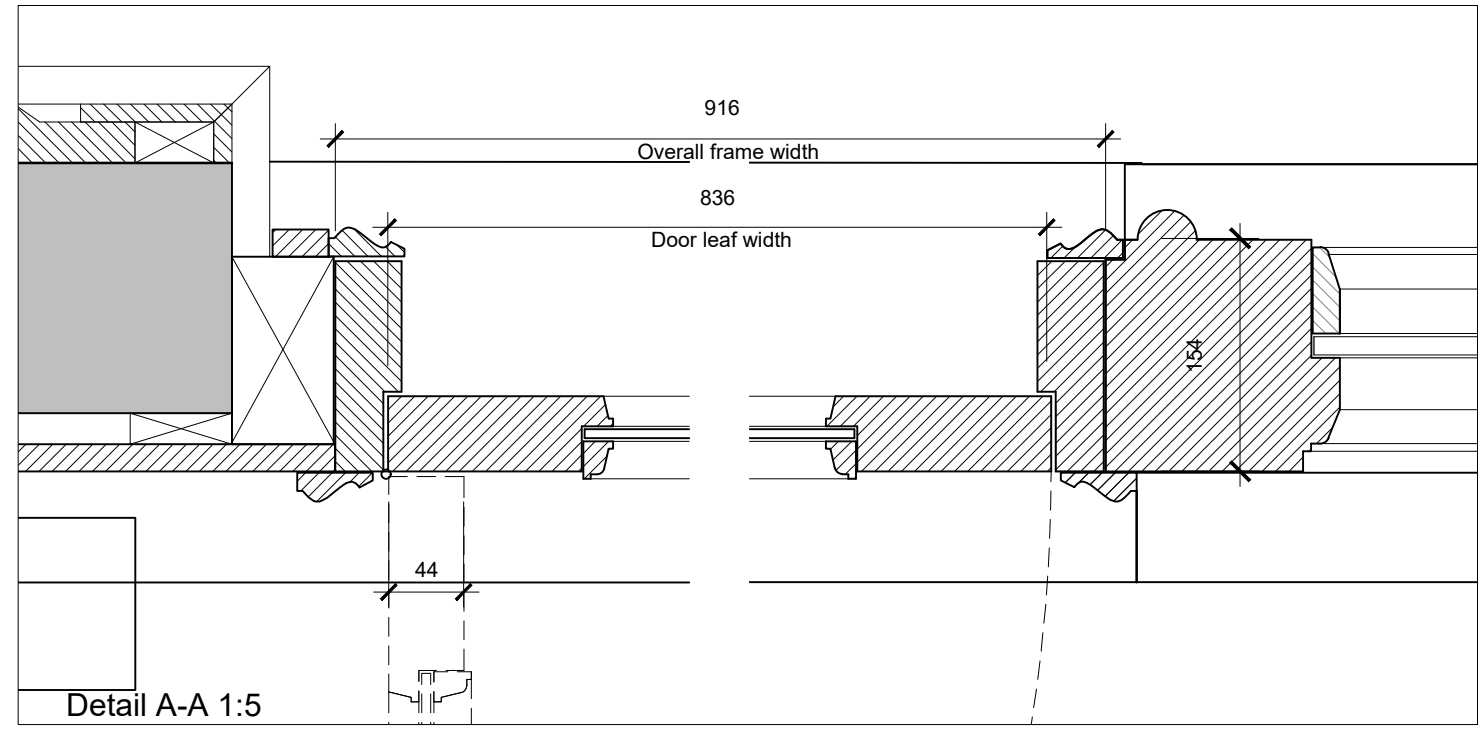
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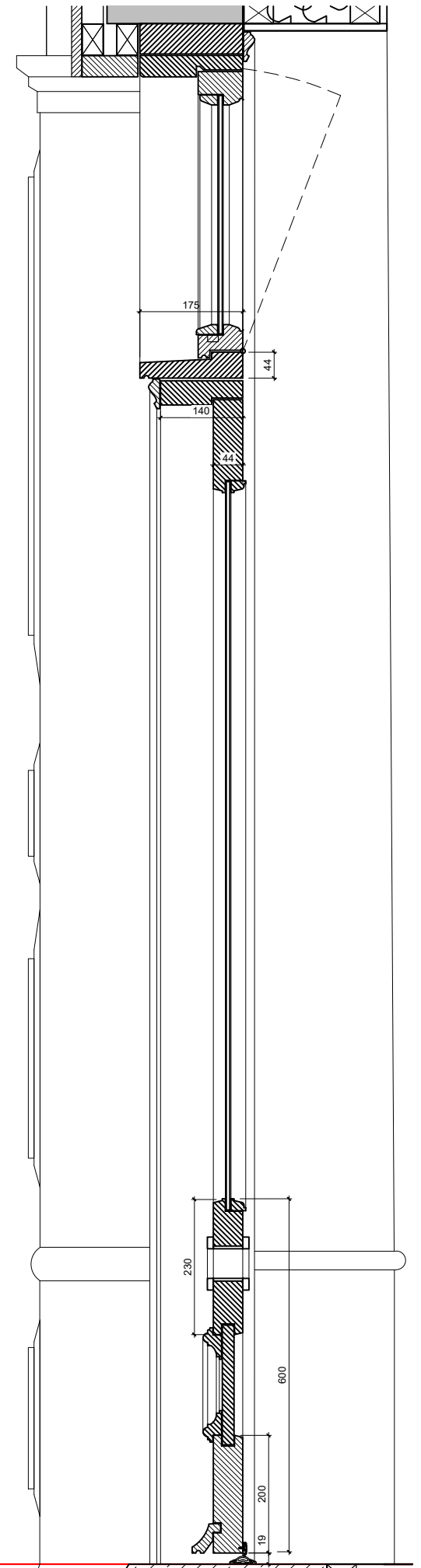
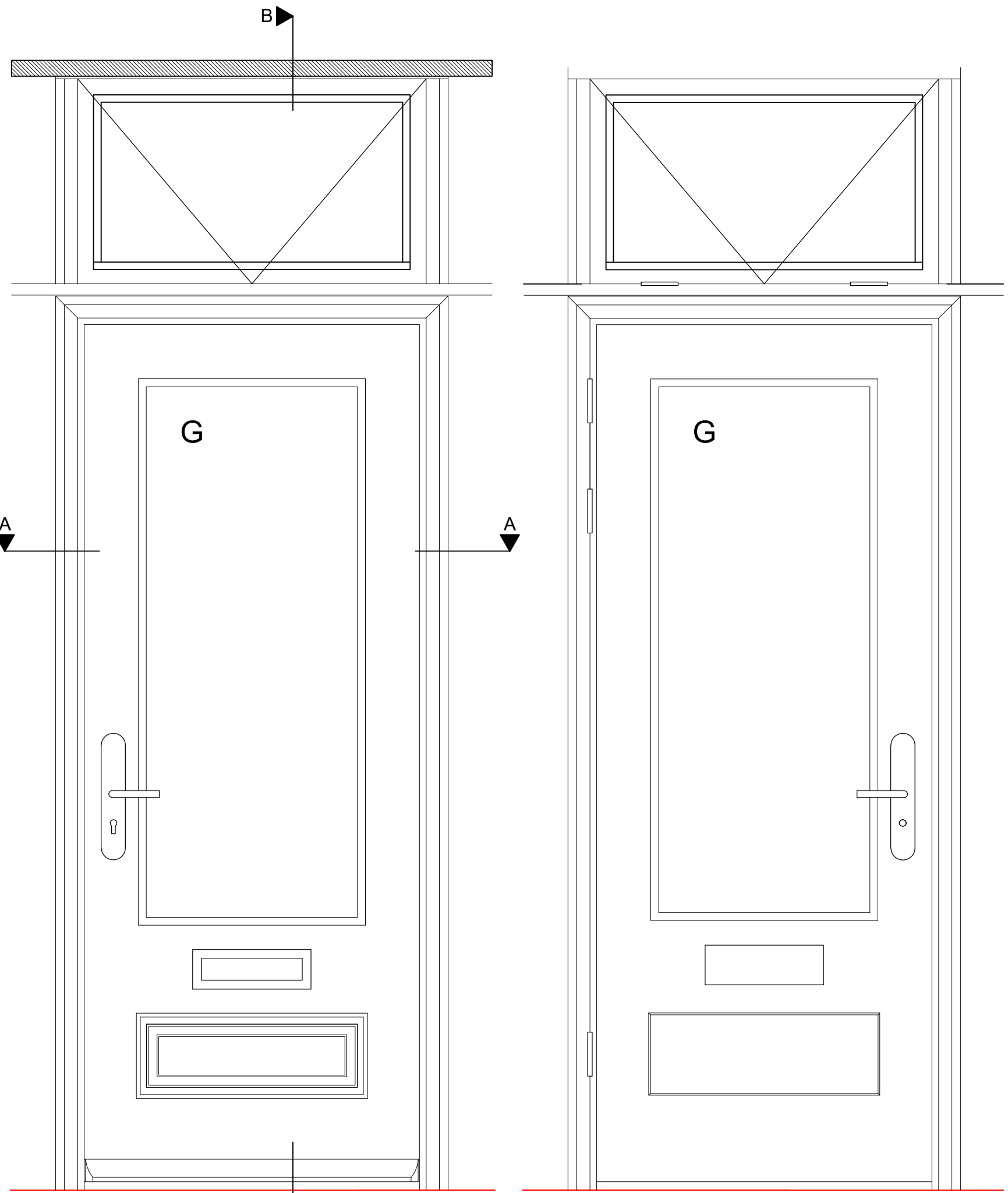
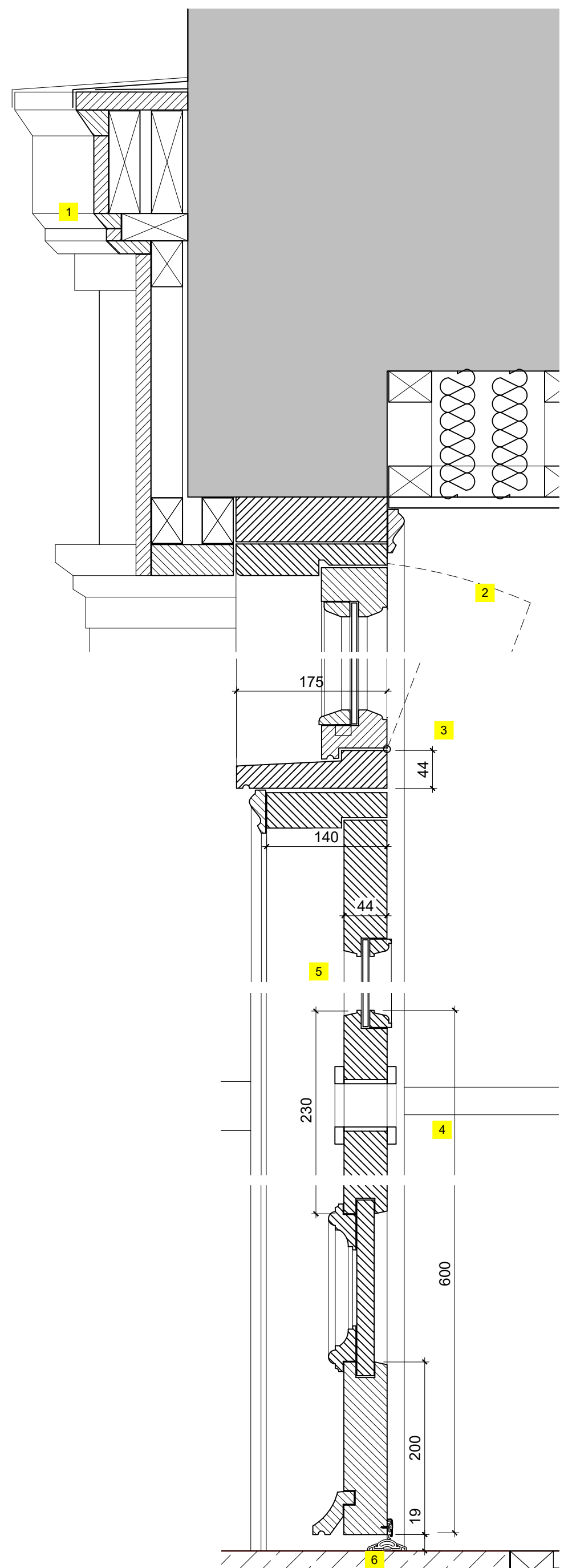
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IRONMONGERY:
Refer to Architectural Hardware Schedule by Monaghans. Schedule No. P115352



- DESIGN NOTES:
- 1 External timber/ wbp ply soffitt to entrance recess.
 - 2 Outward opening fan light above door.
 - 3 Over head manually operated door closer.
 - 4 Letter box
 - 5 6mm toughened glass.
 - 6 Sealmaster Cyclone threshold seal (ref: TEG/ CBG).



External Elevation
1:10

Internal Elevation
1:10

Detail B-B 1:10

Detail B-B 1:5

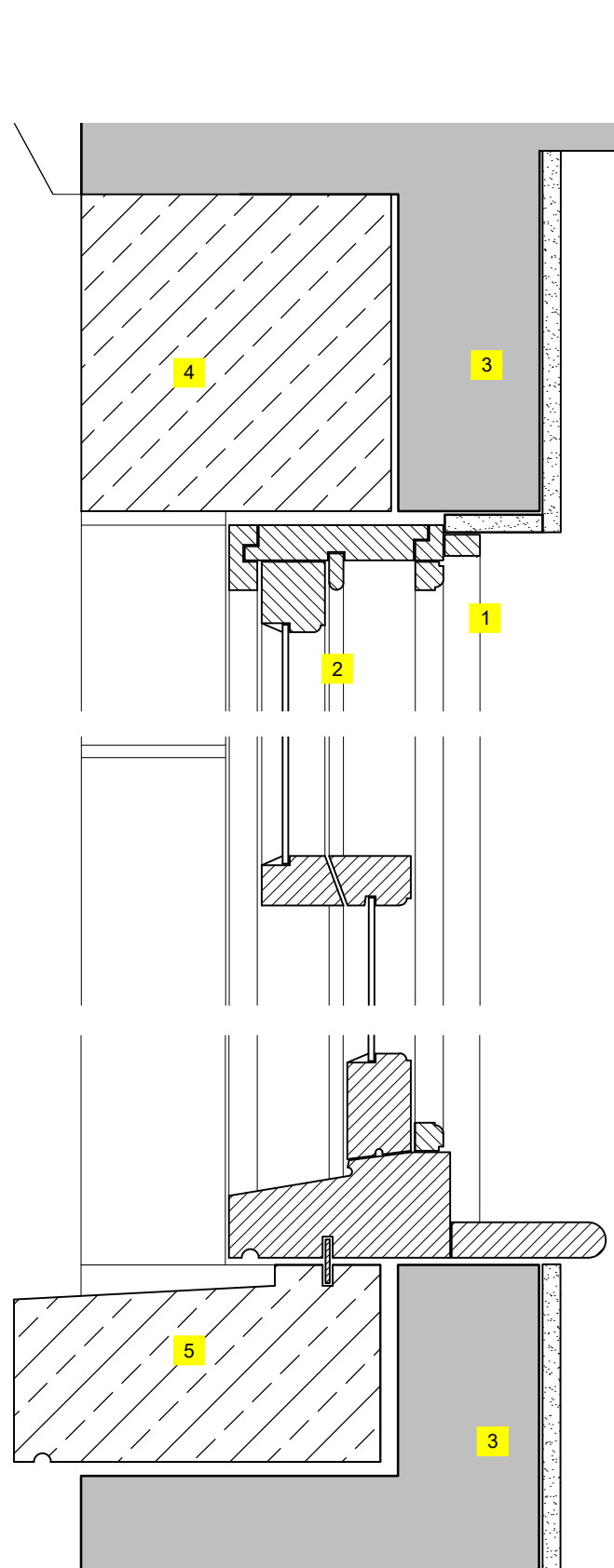
24.07.24 Rev A
Agreed extent of work following tender and grant review CWE

Job
31 Queen Street
Morley

Drawing title
Shop Front Door

Date	Scale@A2	Rev
May 2024	1: 50	A
Drawing No.	Drawn by	Checked
4615-T-07	DDA	RCT

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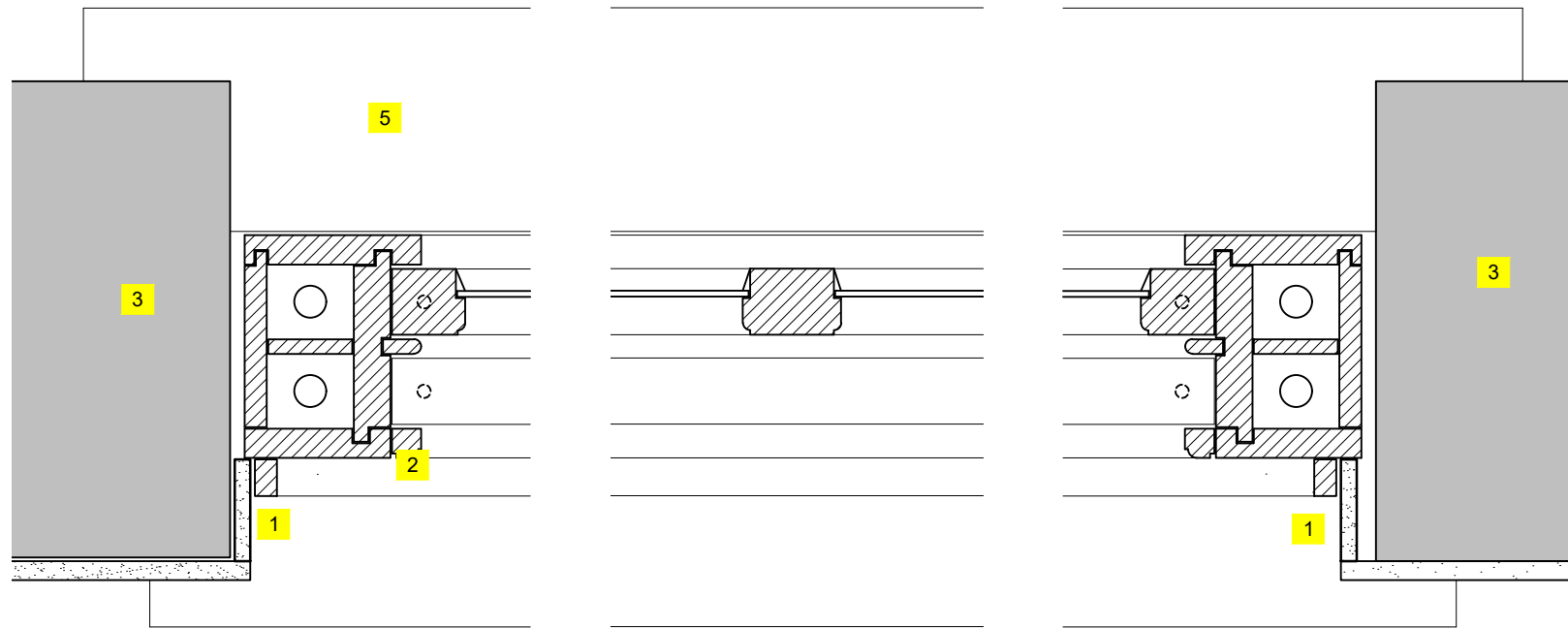


Detail A-A 1:5

DESIGN NOTES:

- 1 New window linings
- 2 New European Hardwood double glazed conservation approved vertical sliding sash. Joinery details to be confirmed with subcontractor. Structural opening to be checked and confirmed on site.
- 3 Existing external wall. New window to be installed in existing opening.
- 4 Existing lintel where possible to be retained/ repaired and cleaned.
- 5 Existing cill where possible to be retained/ repaired and cleaned.

Detail B-B 1:5



Typical Internal Elevation - 1:25

Typical External Elevation - 1:25

24.07.24
Agreed extent of work following tender and grant review

Rev A
CWE

Job
31 Queen Street
Morley

Drawing Title
New Sash Window details
W2 & W3

Date	Scale@A3
May 2024	1:25 & 5

Drawing No.	Drawn by	Rev
4615-T-08	DDA	A

Location	Door Number	New/ Existing	Type/Description	Door Leaf Size (H x W x D) mm	Frame Size (mm)	Architrave	Fire Rating	Decoration	Glazing	Ironmongery	Misc	Lintel
Ground Floor	D1	New	ENTRANCE DOOR: 44mm SW door with fully glazed main panel. Painted finish. 6mm Hardwood lippings to all edges. Openable top light above.	1981 x 762 x 44	44 x 140	50 x 19 Ogee profile	N/A	Door and architrave and all shop front joinery to receive 1no. primer coat, 1no. undercoat and a minimum of 2no. finishing coats. Finish: TBC Colour: TBC	8.3mm LandVac Heritage Glazing	Sealmaster Watershed threshold seal TES/CBS to suit door width. Threshold to be bedded in silicone and fixed to floor with screws/ plugs. Contact strip fixed to door with screws. Ironmongery to comply with AD Part M for entrance doors. See separate ironmongery schedule.	See separate ironmongery schedule.	Entrance door is a component of shop front element. Refer to architect's drawing 4615-T-06 & 07.

Location	Window Number	Existing / New	Description	Structural opening size WxH	Glazing	Ironmongery	Finish (Internal and External)	Miscellaneous	Cill	Lintel
Ground Floor Reception Shop Front Windows	W1	New	Shopfront. See detail drawings 4615_T_05 & 06	As Existing. (all dimensions to be checked on site before manufacturing)	8.3mm LandVac Heritage Glazing	See the schedule by Monaghan Hardware.	Shop front joinery to receive 1no. primer coat, 1no. undercoat and a minimum of 2no. finishing coats. Internal Colour: TBC Finish: Gloss External Colour: TBC Finish: TBC	Decoration includes window backs. Read in conjunction with drawing 4615_T_05, 06 & 08.	Existing Stone	Existing Stone
First Floor	W2	New	Sash Window	As Existing. (all dimensions to be checked on site before manufacturing)	New double-glazing with a U-value of 1.4 W/m2K or minimum WER Band B.	See the schedule by Monaghan Hardware.	Shop front joinery to receive 1no. primer coat, 1no. undercoat and a minimum of 2no. finishing coats. Internal Colour: TBC Finish: TBC External Colour: TBC Finish: TBC	Decoration includes window backs. Read in conjunction with drawing 4615_T_05, 06 & 08.	Existing Stone	Existing Stone
Second Floor	W3	New	Sash Window	As Existing. (all dimensions to be checked on site before manufacturing)	New double-glazing with a U-value of 1.4 W/m2K or minimum WER Band B.s	See the schedule by Monaghan Hardware.	Shop front joinery to receive 1no. primer coat, 1no. undercoat and a minimum of 2no. finishing coats. Internal Colour: TBC Finish: TBC External Colour: TBC Finish: TBC	Decoration includes window backs. Read in conjunction with drawing 4615_T_05, 06 & 08.	Existing Stone	Existing Stone